



## MEETING MINUTES

<b>Date:</b>	Tuesday, May 14, 2024, 5:30 pm
<b>Present:</b>	Jennifer White (President), Liam Hall (Vice-President), Lauren Ober (Treasurer), Mauricio Curbelo, Dan Sharp, Charlotte Clar
<b>Regrets:</b>	Genevieve Weber, Councillor Karen Harper, KimberlyVan Nieuvenhuysse
<b>Guests:</b>	Jim Kerr

ITEM	NOTES
1	<p><b>Welcome</b></p> <ul style="list-style-type: none"> <li>Jennifer volunteered to take minutes</li> </ul> <p><b>MOVED by Charlotte and Seconded by Mauricio “That the agenda be approved”.</b></p> <p style="text-align: right;"><b>CARRIED</b></p>
2	<p><b>Previous Meeting Minutes</b></p> <p><b>MOVED by Lauren and Seconded Jennifer by “That the minutes of the April 9, 2024 meeting be adopted as circulated.</b></p> <p style="text-align: right;"><b>CARRIED</b></p>
	<p><b>691 Donnington Place</b></p> <ul style="list-style-type: none"> <li>Presentation from Jim Kerr regarding the proposed addition to 691 Donnington Place (registered). SHF was requested to provide feedback on the proposal as it will require a Board of Variance application.</li> <li>A discussion occurred, and noted: <ul style="list-style-type: none"> <li>The height variance requested is within the existing overall building height</li> <li>The dormers proposed are consistent with the style of this 1949 Registered heritage home. The applicant demonstrated an understanding of the home’s character-defining elements. We noted that the design, proportions, and detailing of the dormers are clearly inspired by the existing windows and roof.</li> <li>The tall first floor, combined with the tall attic, require the centre dormers to be taller in order for them to be proportioned correctly. We believe the applicant has struck a balance between designing the dormers to be large enough to allow sufficient light to reach the interior, while ensuring the new dormers are visually subordinate to the large roof (a character-defining element) as well as to the windows and doors on the first floor.</li> </ul> </li> </ul>

	<ul style="list-style-type: none"> <li>○ The addition of a second storey on a house with a massive attic is supportable from a preservation perspective. Increasing the home’s useful square footage will reduce the possibility that a subsequent owner will need to demolish the home in order to meet their need for space.</li> <li>○ Overall, the design was deemed a tasteful proposal that adds space to this home without compromising its character.</li> <li>○ The SHF supports this application</li> <li>● <b>ACTION: Mauricio to draft response letter, Jennifer to issue</b></li> </ul>
<p><b>3</b></p>	<p><b>Heritage Tracker Status Updates</b></p> <ul style="list-style-type: none"> <li>● <b>4512 West Saanich Road (original Municipal Hall/Med Grill)</b> <ul style="list-style-type: none"> <li>○ No new updates received from Saanich Planning.</li> <li>○ Applicant has asked to present at June meeting <ul style="list-style-type: none"> <li>■ <b>ACTION: Councillor Harper to confirm back to applicant that this is acceptable</b></li> </ul> </li> </ul> </li> <li>● <b>2254 Arbutus Road</b> <ul style="list-style-type: none"> <li>○ Application for heritage designation forwarded to SHF for review by Saanich Planning on January 31, 2024. SHF Board supports the heritage designation of the main property as submitted, and response was provided via letter dated March 1, 2024. SHF also recommended that the homeowner also include designation of the remaining two buildings mentioned in the Statement of Significance as part of the designation application.</li> <li>○ No new updates received from Saanich Planning. Was planned to go to Saanich Council for approval May 13, 2024, but was pulled from the agenda just before the meeting.</li> </ul> </li> </ul>
<p><b>4</b></p>	<p><b>Treasurer’s Report</b></p> <ul style="list-style-type: none"> <li>● See attached statement (to May 14, 2024)</li> <li>● Current balances for the accounts are as follows: <ul style="list-style-type: none"> <li>○ Operating Account: \$6,353.39</li> <li>○ Grant Account: \$58,529.73</li> </ul> </li> </ul> <p><b>MOVED by Jennifer and Seconded by Mauricio “That the Treasurer’s report be received for information”.</b></p> <p style="text-align: right;"><b>CARRIED</b></p> <ul style="list-style-type: none"> <li>● <b>ACTION: Jen and Lauren to go to bank in person to close Dodd/Hall house accounts</b></li> <li>● <b>ACTION: Liam to be added to signing authority list. Lauren to coordinate.</b></li> </ul>

	<ul style="list-style-type: none"> <li>● <b>ACTION: Lauren to create sponsor document that summarizes the process/requirements for future transition of signing authorities.</b></li> </ul>
<b>5</b>	<p><b>2023 House Grants</b></p> <ul style="list-style-type: none"> <li>● 762 Ralph Street (roof ventilation and exterior paint) <ul style="list-style-type: none"> <li>○ Exterior paint work complete and grant funds issued</li> <li>○ Ventilation work still pending, with electrical required before insulation can occur.</li> <li>○ Homeowner has requested extension to end of October to allow for additional air testing in summer. No issues noted with granting this extension</li> <li>○ <b>ACTION: Jennifer to email homeowner re revised timeline extension</b></li> </ul> </li> </ul>
<b>6</b>	<p><b>2024 House Grants</b></p> <ul style="list-style-type: none"> <li>● Applications intake closed April 30. Five applications were received, and reviewed by the board.</li> <li>● Grant application for 762 Ralph Street was not approved, as it does not meet the Restoration Guidelines. The guidelines note: <i>“New work and materials should replicate old work exactly, or if old work is already missing, new work should be based on research of archival (photographic) sources of the same or similar buildings (pg 2), Windows and doors (pg4) require separate panes of glass.</i> <ul style="list-style-type: none"> <li>○ Since this proposal is to change the design of an original element of the home, the onus is on the applicant to prove that the change is necessary and that the new designs are historically accurate. <ul style="list-style-type: none"> <li>■ A door with a 3/4 window consisting of one sheet of glass is not historically accurate to a 1938 home of this style.</li> <li>■ Catalog doors are almost never historically accurate. In this case, the proposed front door from Lumberworld, though it has a "peak" like the existing window, is not close enough to the design of the existing sidelights.</li> </ul> </li> <li>○ It was discussed and agreed to invite the application to resubmit at the next meeting with an updated application, if so desired.</li> <li>○ <b>ACTION: Jennifer to respond to homeowner re status of application</b></li> </ul> </li> </ul> <p><b>MOVED by Jennifer and Seconded by Lauren: “That the following 2024 Grant Applications be approved and Foundation liaisons be assigned:</b></p>

Address	Activity	Lowest Quote	Grant Amount Approved: (35% of lowest quote to a maximum of 10K )	Board Liaison
702 Gorge Road West	Exterior Painting	\$16,500.00	\$5,775.00	Mauricio Curbelo
1084 Marigold	Roof Replacement	\$31,354.40	\$10,000.00	Jennifer White
1650 Earlston Ave	Roof Replacement	\$44,950.00	\$10,000.00	Liam Hall
4516 West Saanich Road	Exterior Painting	\$58,835.00	\$10,000.00	Liam Hall
<b>CARRIED</b>				
<b>ACTION: Jennifer to draft letters to homeowners notifying them of grant awards</b>				
<b>7</b>	<p><b>Website Creation/Graphics</b></p> <ul style="list-style-type: none"> <li>● No mockup available yet from 48North. <ul style="list-style-type: none"> <li>○ <b>ACTION: Liam to connect back to 48North to see if mockup will be ready for next meeting</b></li> </ul> </li> <li>● Charlotte and Genevieve have updated the territorial acknowledgement, and continue to discuss the Indigenous heritage page content</li> <li>● Need to create new signs for grant work. Due to timing, may require approval via email to approve costs once known <ul style="list-style-type: none"> <li>○ <b>ACTION: Liam to request font package for logo from 48North</b></li> <li>○ <b>ACTION: Liam to connect with sign company re quotes for work</b></li> <li>○ <b>ACTION: Jen to provide Liam previous sign wording</b></li> </ul> </li> </ul>			
<b>8</b>	<p><b>Social Media/Public Engagement</b></p> <ul style="list-style-type: none"> <li>● Postings have predominantly been to flag registered and designated houses in Saanich.</li> </ul>			



	<ul style="list-style-type: none"> <li>● Query was received via the past president regarding potential volunteer opportunities with SHF. (There is a posting on a board at UVIC.) Jennifer reached out, but no follow up response was received. <ul style="list-style-type: none"> <li>○ <b>ACTION: Charlotte to update board at UVIC with current info@ email address</b></li> </ul> </li> <li>● A local resident group has requested a tour of Dodd House. Saanich was contacted and confirmed a day/time that worked for both, and will notify tenant. Sheila Colwill will be leading tour. <ul style="list-style-type: none"> <li>○ <b>ACTION: Jennifer to forward calendar invite to all board members who would like to join.</b></li> </ul> </li> </ul>
<b>9</b>	<p><b>Electronic Records</b></p> <ul style="list-style-type: none"> <li>● Scanning of key file info/adding of info to house database master file - ongoing</li> </ul>
<b>10</b>	<p><b>Adjournment</b></p> <ul style="list-style-type: none"> <li>● The meeting adjourned at 7:45 pm.</li> </ul>
<b>11</b>	<p><b>Next Meeting</b></p> <ul style="list-style-type: none"> <li>● The next regular meeting of the SHF will be held on Tuesday June 11, 2024 at 5:30 pm.</li> </ul>
<b>12</b>	<p><b>Attachments</b></p> <ul style="list-style-type: none"> <li>● Letter and drawings re 691 Donnington Place</li> </ul>

---

JAMES KERR ARCHITECT

1423 Haultain Street  
Victoria, BC V8R 2J6



778-432-2996  
jim@kerrarchitect.ca

---

May 7, 2024

Board of Variance  
District of Saanich  
770 Vernon Avenue  
Victoria, BC V8X 2W7

**RE: Board of Variance Application**  
**Addition to Existing Single Family Residence**  
**691 Donnington Place, Victoria BC**

Dear Chair and Board Members,

On behalf of Julie and Richard Owen, Owners of the subject property, a height variance is requested to the applicable A-1 Rural Zone standard for the purpose of adding a new second storey to their existing single family dwelling.

**Existing Site & Context**

The A-1 zoned 3.0 hectare property includes an existing single family dwelling and several accessory buildings. The house was built in 1949 for owners Ada & Norman Yarrow (then president of Yarrows Ltd Shipyard) and was the last major residence designed by acclaimed local architect Percy Leonard James. The property was originally known as Orchard Gate, later Donnington Farm, and is currently listed on the Saanich Heritage Registry.

The house was designed in the British Arts & Crafts style as the centre-piece of a large country estate surrounded by gardens, working orchards and woodlands. It features a one level “butterfly” plan, rustic brick walls, horizontal muntin-ed windows, a massive cedar shake roof and multiple chimneys.

**Proposed Variance Requested**

The Owners wish to add a new second floor within the existing attic to accommodate 2 additional bedrooms and a games room for their family. A series of new dormers with windows are proposed for needed daylight and headroom. Their proportions, sizes, finishes and details are designed to be purposely understated to fit into and be visually subordinate to the existing massive roof, a key character defining element of James’ original design.

The two central dormers proposed are located over the existing main level “great” room which has a ceiling height of 12.0 feet. **In order to accommodate the new required floor structure and provide adequate headroom, the height of both these dormers, as measured from grade to the top of their 2:12 sloped roofs, will exceed**

**the maximum permitted 6.5m height in the A-1 zone by up to 0.91m (3.0 feet). Hence a variance to increase the allowable height to 7.41m is requested.**

We respectfully submit that the requested variance is reasonable and can be justified on the grounds that, without it, the existing ceiling height of the main level living room (and new upper floor) would need to be lowered by 3.0 feet to make the dormer heights conform to the 6.5m standard. This would require a complete reworking of the central portion of the house and create undue hardship. Given that the existing house is relatively distant from and screened by evergreen forest from neighbouring properties, the granting of this variance will not in any way adversely impact their use and enjoyment.

No variance is required for the height of new dormers proposed at each side wing because these are at a lower elevation and located over main floor space with ceiling height of only 9.0 feet.

All other aspects of the proposed alterations meet the A-1 zone standards.

Attached for reference are photos of the existing house and 3D images of the proposed design showing the added dormers.

Given the heritage significance of the existing house, the proposed design will be presented to the Saanich Heritage Foundation for feedback prior to the Board of Variance hearing. We will also contact the immediately adjacent neighbours prior to the BOV hearing to discuss this application and gather their feedback.

We look forward to presenting the proposal to the Board of Variance in person and thank you for your consideration.

Yours sincerely,



James Kerr Architect AIBC

Principal, JAMES KERR ARCHITECT

cc Julie & Richard Owen, Owners  
Saanich Heritage Foundation  
encl

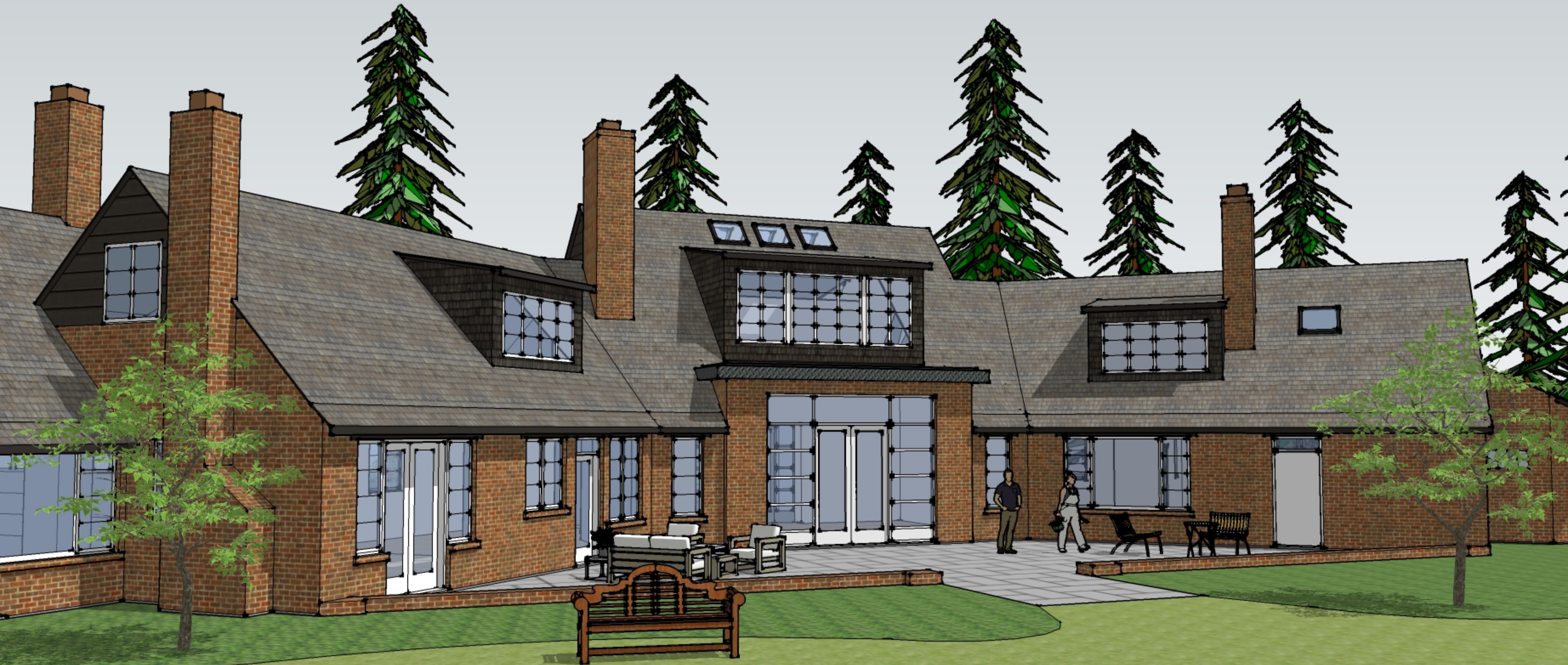


Existing Residence Aerial View  
691 Donnington Place

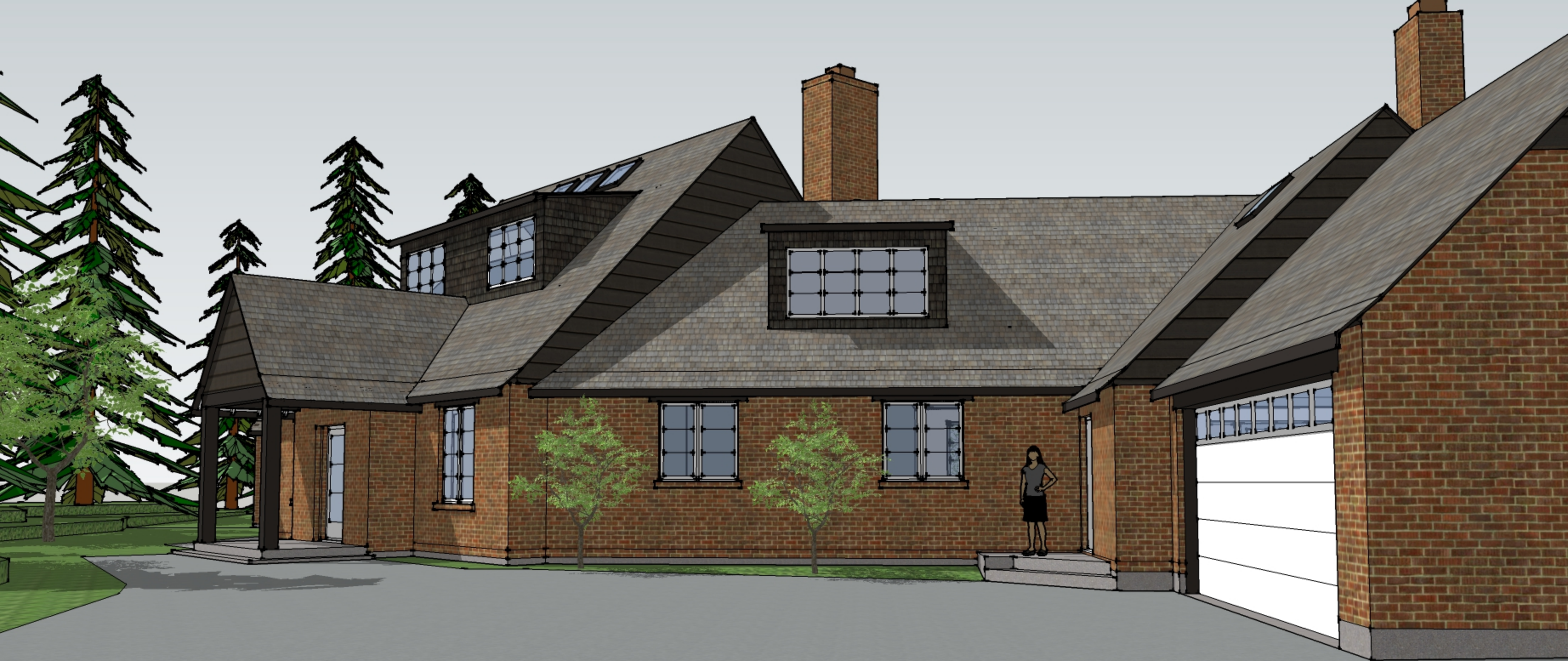




Existing Residence View from Northeast  
691 Donnington Place



Proposed Second Level Addition - West View  
691 Donnington Place JKA 05-07-2024



Proposed Second Level Addition - East View  
691 Donnington Place JKA 05-07-2024

# CONSTRUCTION ASSEMBLIES

**Note minimum RSI values for new assemblies or existing assemblies upgraded for new addition are based on Zone 4 for Victoria Mt.Tolmie location (2700 Degree Days below 18C) as per BCBC 2024 Table 9.36.2.6-C**

## EW1 Typical Existing Exterior Wall

4" brick veneer  
1" airspace  
building paper or stucco base coat TBC  
1x ship lap sheathing  
2x4 studs @ 16"+/- oc w/ 3.5" fiberglass batt insulation  
interior lath & plaster

## EW2 Existing Attic Exterior Wall

wave edge cedar siding  
building paper, 1x ship lap sheathing  
2x4 studs @ 16"+/- oc & furring

## EW3 Existing Attic Exterior Wall Modified

exterior air film 0.03 RSI  
ex wave edge cedar siding 0.17  
ex building paper, 1x ship lap sheathing 0.16  
ex 2x4 studs @ 16"+/- oc & furring  
1. Add 2x2 furring to studs  
2. Add 5" polyurethane spray foam insulation (Polarfoam PF-7300 or equal) 2.94  
3. Add 1/2" GWB finish at interior side 0.08  
interior air film - wall 0.12  
Total Effective RSI 3.50  
BCBC 2024 Table 9.36.2.6-C minimum RSI 3.08

## EW4 Typical Existing Interior Wall

lath & plaster OR drywall  
2x4 studs @ 16"+/- oc  
lath & plaster OR drywall

## W1 New Exterior Wall (above roof level)

exterior air film - wall 0.03  
cedar shingles 6" exposure 0.17  
synthetic sheathing membrane (SSM) air barrier w/ taped joints (Tyvek or equal) 0.00  
1/2" plywood sheathing 0.11  
2x6 studs @ 16"oc w/ 5.0" polyurethane  
spray foam insulation (Polarfoam PF-7300 or equal) 2.94  
1/2" GWB finish w/ vapour barrier paint primer 0.08  
interior air film - wall 0.12  
Total Effective RSI 3.45  
BCBC 2024 Table 9.36.2.6-C minimum RSI 3.08

## W2 New Attic Wall (below roof level)

2x6 studs @ 16"oc  
1/2" GWB finish 0.08

## W3 New Attic Exterior Wall

exterior air film - wall 0.03 RSI  
synthetic sheathing membrane (SSM) air barrier w/ taped joints (Tyvek or equal) 0.00  
1/2" plywood sheathing 0.11  
2x6 studs @ 16"oc w/ 5.0" polyurethane  
spray foam insulation (Polarfoam PF-7300 or equal) 2.94  
1/2" GWB finish w/ vapour barrier paint primer 0.08  
interior air film - wall 0.12  
Total Effective RSI 3.28  
BCBC 2024 Table 9.36.2.6-C minimum RSI 3.08

## W4 Typical New Interior Wall

1/2" GWB (or as required to be flush w/ existing plaster)  
2x4 studs @ 16"oc  
3.5" acoustic batts at all bathrooms, laundry bedrooms & study  
1/2" GWB (or as required to be flush w/ existing plaster)

## W5 Typical New Interior Wall

same as W1 but with 2x6 studs @ 16"oc

## EF1 Existing Main Level Assembly

finish flooring on 1x shiplap  
2x8 joists @ 16"oc

## EF2 Existing Attic Floor Assembly

ex 2x8 joists @ 16 or 20"oc w/ fg batt insulation  
1x2 strapping, lath & plaster or GWB ceiling

## EF3 Existing Upper Level Assembly Modified

ex 2x8 joists @ 16"oc w/ fg batt insulation  
ex 1x2 strapping, lath & plaster or GWB ceiling  
1. Remove ex batt insulation  
2. Sister ex joists w/ new 9.25" LVLs as per structural  
3. Add new finish flooring & 5/8" T&G plywood

## EF4 Existing Upper Level Assembly Modified

ex 1x decking w/ fg batt insulation  
ex 2x10 joists @ 12"oc  
ex 1x2 strapping, lath & plaster or GWB ceiling  
1. Remove ex 1x decking & batt insulation  
2. Sister ex joists w/ new 11.75" LVLs as per structural  
3. Add new finish flooring & 5/8" T&G plywood

## ER1 Existing Roof Assembly

ex cedar shakes replace w/ synthetic shingles  
ex 1x shiplap  
ex 2x6 rafters @ 20"oc

## ER2 Existing Roof Assembly Modified

ex cedar shakes replaced w/ synthetic shingles 0.08  
ex 1x shiplap 0.16  
ex 2x6 rafters @ 20"oc

## ER3 Existing Roof Assembly Modified

1. Sister ex rafters w/ new 2x10s as per struct 4.51  
2. Add 6.0" polyurethane spray foam insulation (Polarfoam PF-7300 or equal) 0.08  
3. Add 1/2" GWB ceiling 0.11  
interior air film - ceiling 0.11  
Total Effective RSI 4.94  
BCBC 2024 Table 9.36.2.6-C minimum RSI 4.67

## ER4 Existing Low Slope Roof Modified

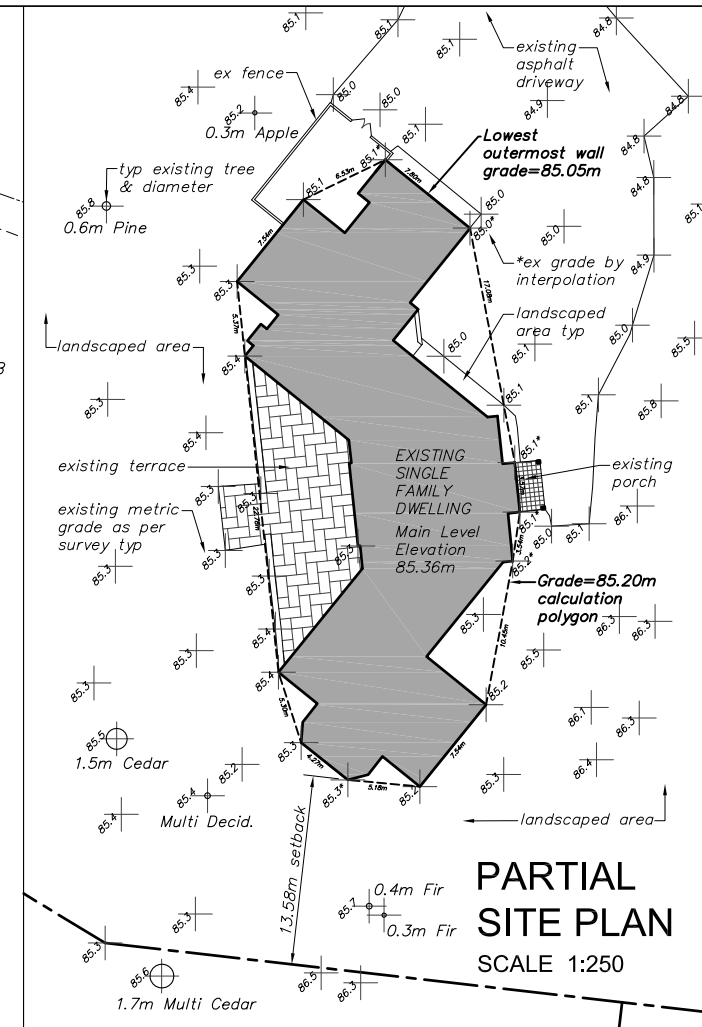
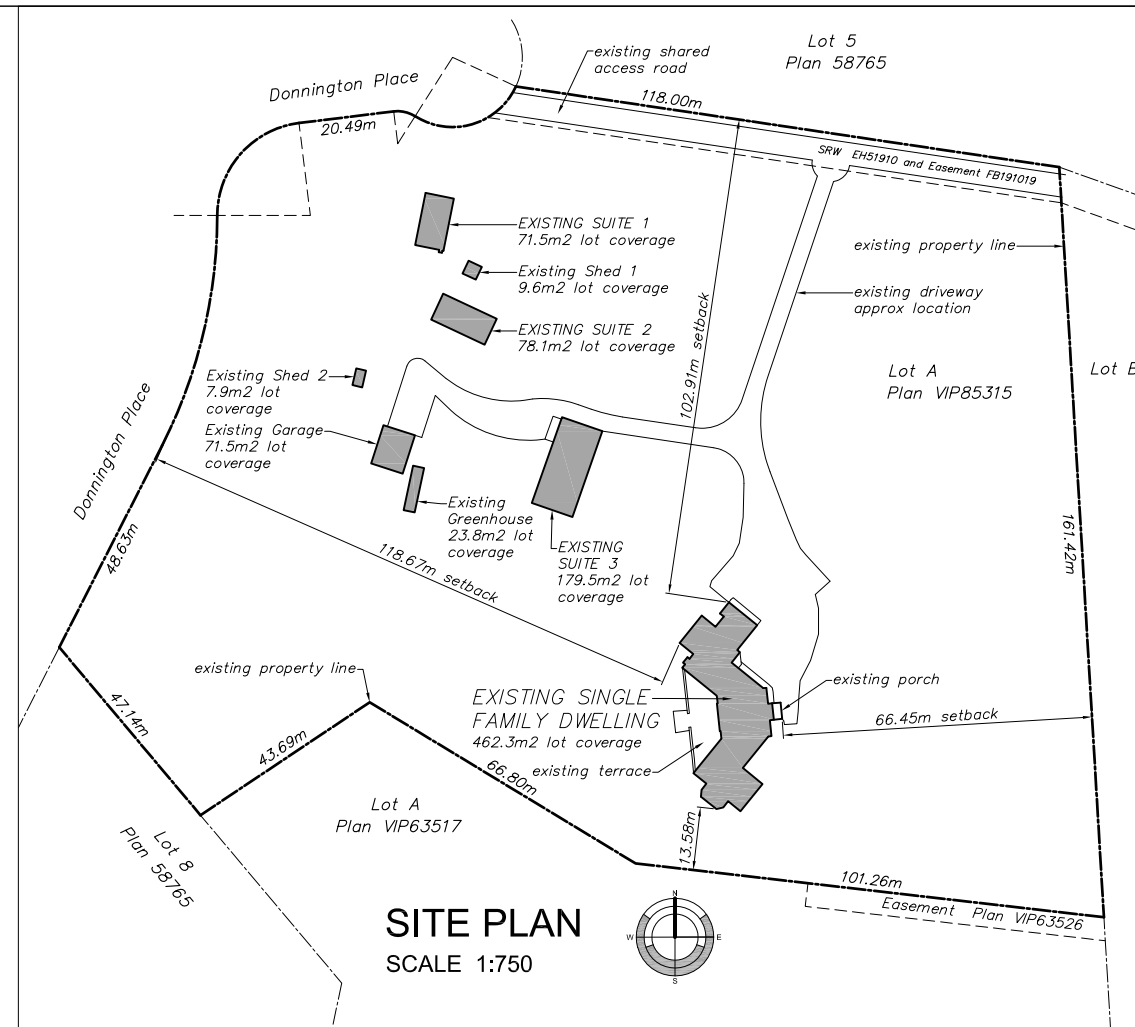
Same as ER2 but no GWB ceiling

## ER5 Existing Low Slope Roof Modified

ex roofing & sloped 1x wood deck  
ex 2x10 joists @ 12"oc w/ fg batt insulation  
ex 1x2 strapping, lath & plaster ceiling 0.08  
1. remove ex roofing & wood deck  
2. Sister ex joists w/ 11.75" LVLs as per structural  
3. Add new 5/8" T&G plywood on shims sloped 2% 0.14  
4. Add new copper foil faced SBS roof membrane 0.03  
5. Add 7.0" polyurethane spray foam insulation (Polarfoam PF-7300 or equal) 4.56  
6. repair/replace ex strapping & ceiling as required  
interior air film - ceiling 0.11  
Total Effective RSI 4.92  
BCBC 2024 Table 9.36.2.6-C minimum RSI 4.67

## R1 New Roof Assembly

2 ply SBS roof membrane 0.03  
5/8" T&G plywood sheathing 0.14  
2x8 rafters @ 24"oc w/ 6.0" polyurethane  
spray foam insulation (Polarfoam PF-7300 or equal) 4.90  
2x6 flat ceiling framing where noted  
1/2" GWB ceiling 0.08  
interior air film - ceiling 0.11  
Total Effective RSI 5.26  
BCBC 2024 Table 9.36.2.6-C minimum RSI 4.67



# GENERAL & BC BUILDING CODE NOTES

- The existing house was originally built in 1949. Current project scope of work includes:
  - Selective demolition\*
  - New upper level addition, interior & exterior modifications including structural changes
  - Repair of existing interior & exterior finishes, windows, doors & features
  - New interior finishes, doors, fixtures & cabinetry
  - New electrical, heating, plumbing & ventilation systems
  - Modifications to existing septic field system as required
- \*Refer to Limited Hazardous Materials Survey Report dated April 11, 2024 by AREC Environmental for further information
- Refer to Structural drawings and specifications prepared by Skyline Engineering Ltd for further information
- All NEW construction to meet current edition of BC Building Code 2024, related regulations and municipal by-laws.
- All NEW guards and handrails to meet BC Building Code 2024 Subsection 9.8.8 requirements.
- All NEW bedroom egress windows to be provided to meet BC Building Code 2024 9.9.10.1 requirements including minimum 0.35m2 unobstructed area opening with no dimension less than 380mm
- Smoke alarms to be provided as per BCBC 2024 9.10.19.3 in each Bedroom and other locations required.
- Carbon monoxide alarms to be provided as per BCBC 2024 9.32.4.2
- Exhaust fans with air-flow rates conforming to BCBC 2024 Table 9.32.3.6 to be installed in NEW Upper Level Bathrooms, Ensuite & Lower Level Bathroom. Due to age of existing house and relative lack of airtightness a principal ventilation system conforming to BCBC 2024 9.32.3 is not technically required but make-up air in heating season will be provided TBC. New heating & cooling system to be provided.
- Fire blocks to be provided in concealed spaces and walls as per BCBC 2024 9.10.16. in NEW construction
- Fire protection for electric cooktops & ovens to be provided as per BCBC 2024 9.20.22.
- Protection of foamed plastics including EPS and SPF insulation to be provided as per BCBC 2024 9.10.17.10.
- Contractor to confirm all measurements and dimensions and report any discrepancies to Architect prior to start of construction. Unless noted otherwise, dimensions shown are to face of concrete foundation, face of exterior sheathing or face of drywall. DO NOT SCALE DRAWINGS.
- Contractor is responsible for the coordination and supervision of work by their own forces, sub-trades and suppliers
- Contractor to ensure all work is carried out by the rules and customs of best trade and safety practices by qualified personnel in accordance with all Worksafe BC regulations
- Contractor shall keep the Architect and Structural Engineer informed of the progress of work onsite and shall arrange for inspections by Municipal officials and electrical & plumbing inspectors as required
- All demolition work to be conducted in strict accordance with WorkSafe BC requirements including identification, testing and verification of hazardous materials\* present on site and their handling and/or removal by approved means as required.
- Contractor to provide solid wood blocking in walls for attachment of handrails, guards, cabinetry, electrical and plumbing fixtures or as otherwise required

# ZONING INFORMATION

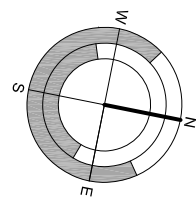
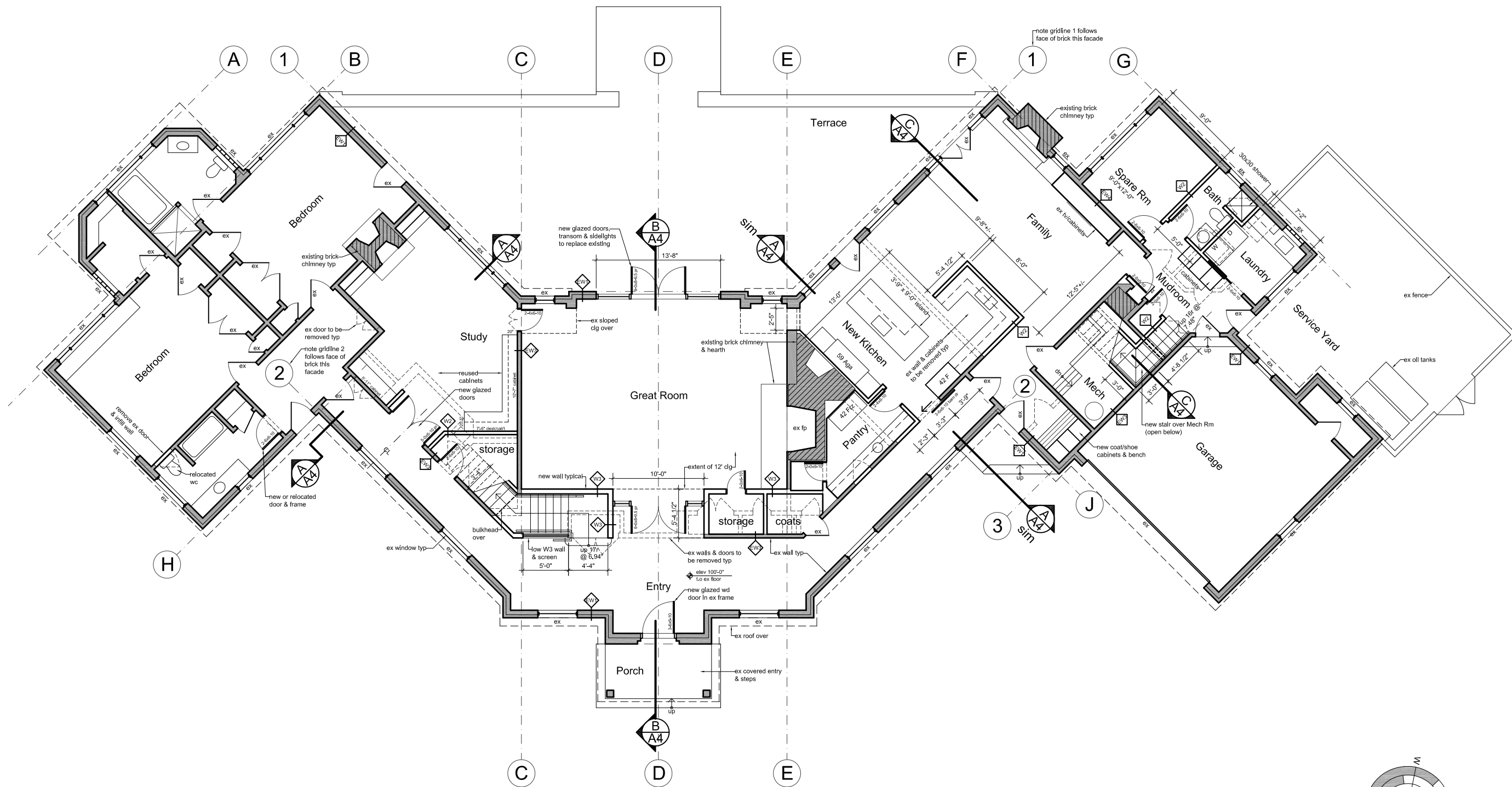
- Street Address: 691 Donnington Place, Victoria, BC
- Legal Description: Lot A Section 54 Lake District Plan VIP85313
- Parcel Identifier Number: 027-567-851
- Existing Zoning: A1 Rural Zone
- Existing Uses: Single Family Dwelling  
Accessory Buildings & Structures
- All existing property lines, easements, structures, grades, trees and utilities shown on Site Plan are based on survey prepared by Wey Mayenburg (BCLS) dated September 14, 2023
- Existing Lot Area: 3.0 hectares (7.41 acres)
- Property is NOT located within the Agricultural Land Reserve
- Zoning Checklist for existing Single Family Dwelling:
 

	A1 Zone Standard	Existing (E) or Proposed (P)
<b>Setbacks</b>		
Front yard (Donnington Pl):	7.5m minimum	118.6m (E)
Side yard (north):	3.0m minimum	102.9m (E)
Side yard (south):	3.0m minimum	13.58m (E)
Rear yard (east):	7.5m minimum	66.45m (E)
<b>Lot Coverage</b>	n/a	462.3m2 or 1.5% (E)
<b>Building Height (101.5(b)(i))</b>	7.5m maximum	5.58m (E)
	6.5m maximum	7.41m (P) (new dormer w/ 2:12 roof)**
		**Variance required
<b>Building Height (101.5(b)(ii))</b>	7.5m maximum	4.61m (E)
<b>Gross Floor Area (R)</b>	n/a	592.1m2 (P) excl ex garage 49.4m2 (E)
<b>Floor Space Ratio (R)</b>	0.45 maximum	0.02

	A1 Zone Standard	Existing (E) or Proposed (P)
<b>Setbacks</b>		
Front yard (Donnington Pl):	7.5m minimum	118.6m (E)
Side yard (north):	3.0m minimum	102.9m (E)
Side yard (south):	3.0m minimum	13.58m (E)
Rear yard (east):	7.5m minimum	66.45m (E)
<b>Lot Coverage</b>	n/a	462.3m2 or 1.5% (E)
<b>Building Height (101.5(b)(i))</b>	7.5m maximum	5.58m (E)
	6.5m maximum	7.41m (P) (new dormer w/ 2:12 roof)**
		**Variance required
<b>Building Height (101.5(b)(ii))</b>	7.5m maximum	4.61m (E)
<b>Gross Floor Area (R)</b>	n/a	592.1m2 (P) excl ex garage 49.4m2 (E)
<b>Floor Space Ratio (R)</b>	0.45 maximum	0.02

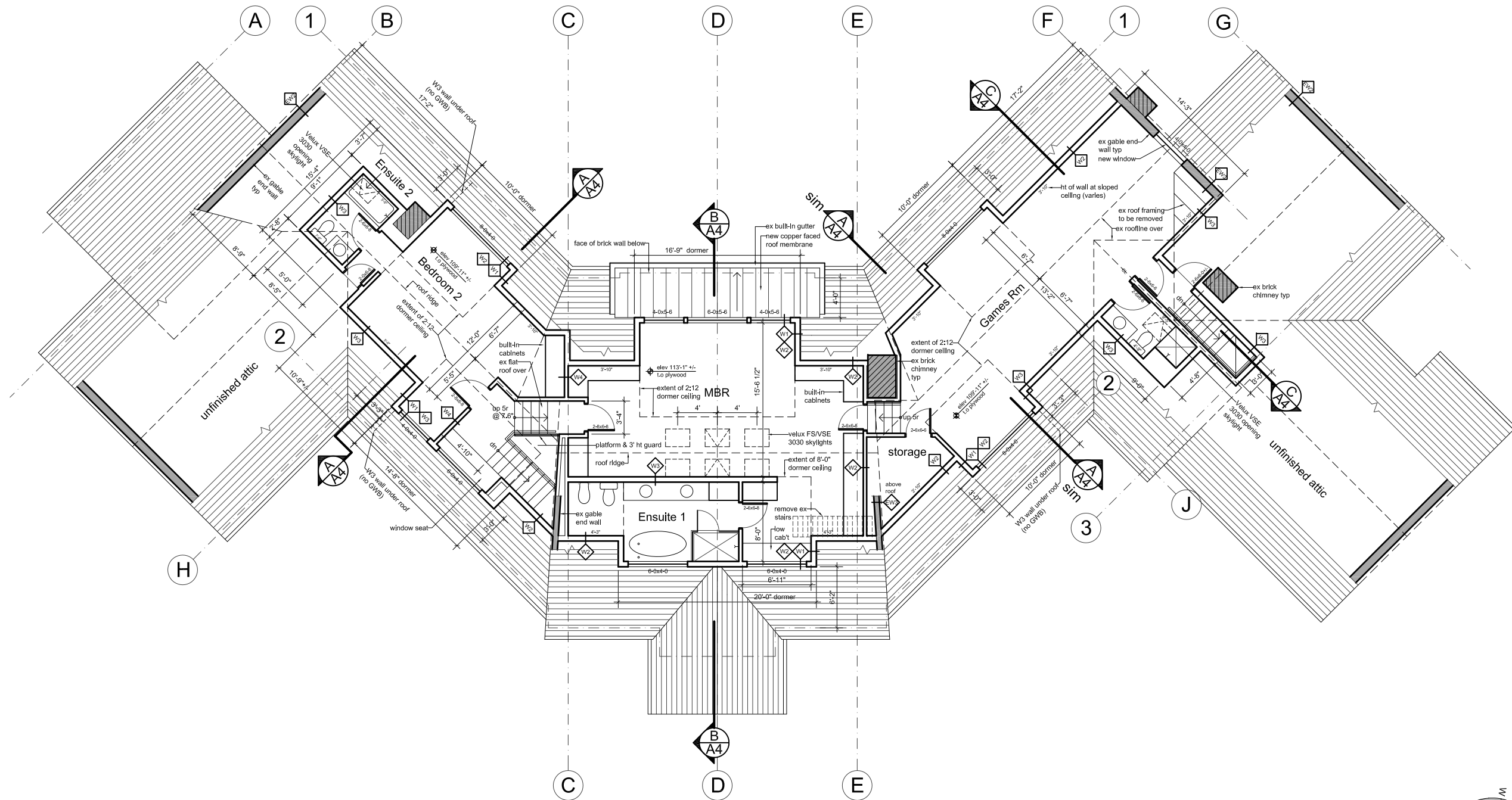
- Grade (Zoning) as per BCLS Letter of Assurance: 85.20m geodetic (see also Site Plan)

29APR2024	BOV APPLICATION
date	description
Issue Log	
<h2>James Kerr Architect</h2> <p>JAMES KERR, ARCHITECT AIBC 1423 Haultain Street Victoria, BC V8R 2J6 778-432-2996</p>	
drawn by	date
Project No.	scale
2203	AS NOTED
Project Name	
<h2>OWEN RESIDENCE ADDITION &amp; ALTERATIONS</h2> <p>691 Donnington Place Victoria BC</p>	
Drawing Title	
<h3>SITE PLAN NOTES</h3>	
Drawing No	Revision No
A1	



# MAIN LEVEL PLAN

29APR2024		BOW APPLICATION	
date		description	
Issue Log			
<b>James Kerr Architect</b> JAMES KERR, ARCHITECT AIBC 1423 Haultain Street Victoria, BC V8R 2J6 778-432-2996			
drawn by	date	29APR2024	
Project No.	2203	scale	3/16"=1'-0"
Project Name			
<b>OWEN RESIDENCE ADDITION &amp; ALTERATIONS</b> 691 Donnington Place Victoria BC			
Drawing Title			
MAIN LEVEL PLAN			
Drawing No.	A2		Revision No.



# UPPER LEVEL PLAN

Issue Log	
date	description
29APR2024	BOW APPLICATION

**James Kerr Architect**

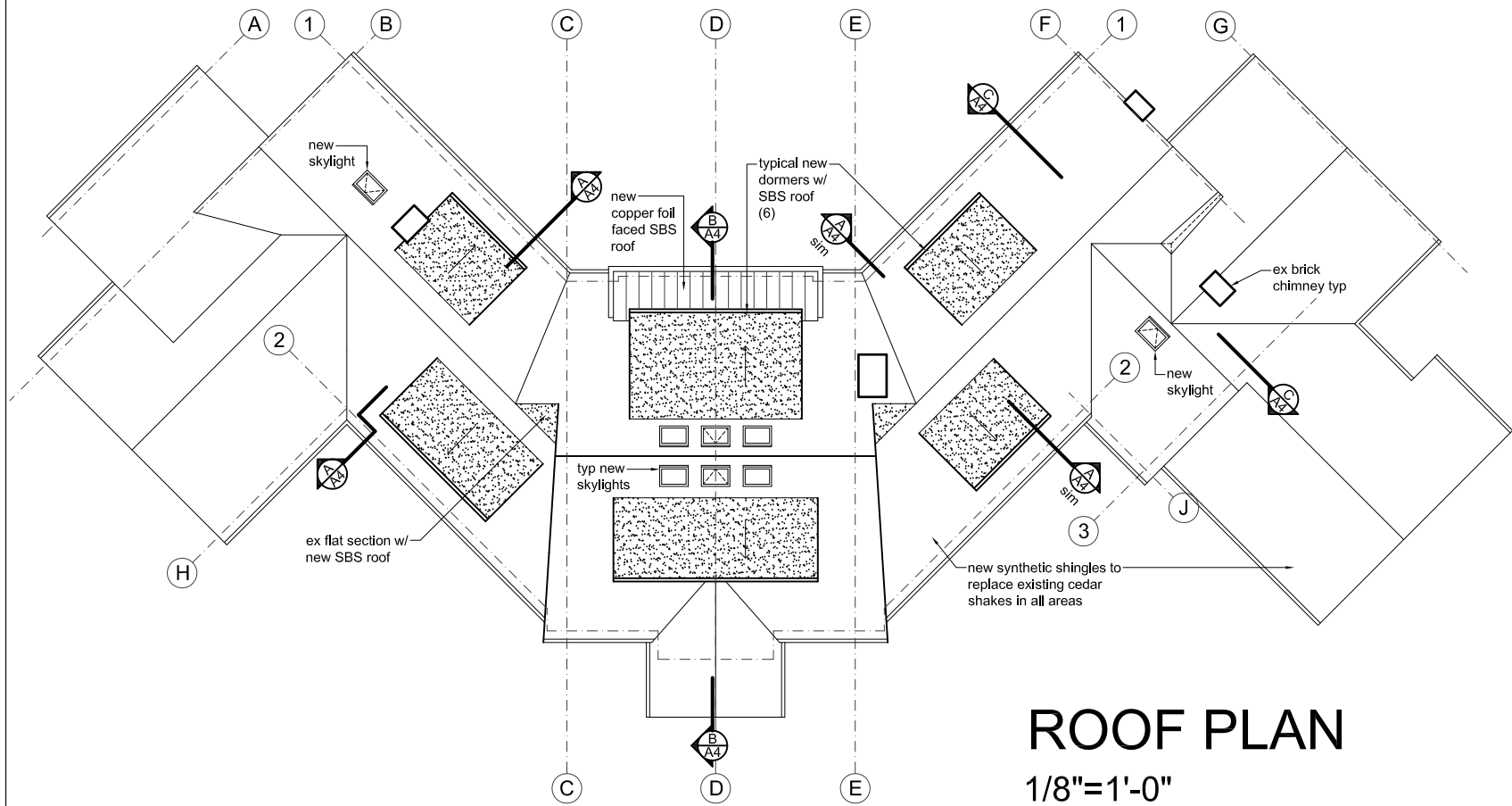
JAMES KERR, ARCHITECT AIBC  
 1423 Haultain Street  
 Victoria, BC V8R 2J6  
 778-432-2996

drawn by	date
2203	29APR2024
Project No.	scale
2203	3/16"=1'-0"
Project Name	

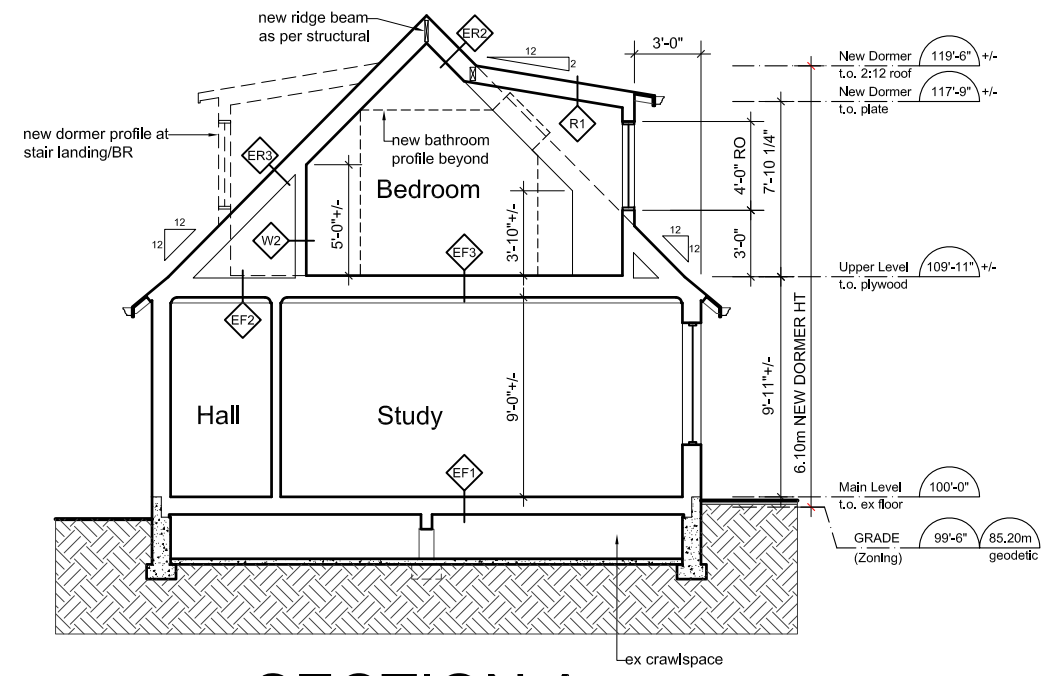
**OWEN RESIDENCE ADDITION & ALTERATIONS**  
 691 Donnington Place  
 Victoria BC

Drawing Title
UPPER LEVEL PLAN

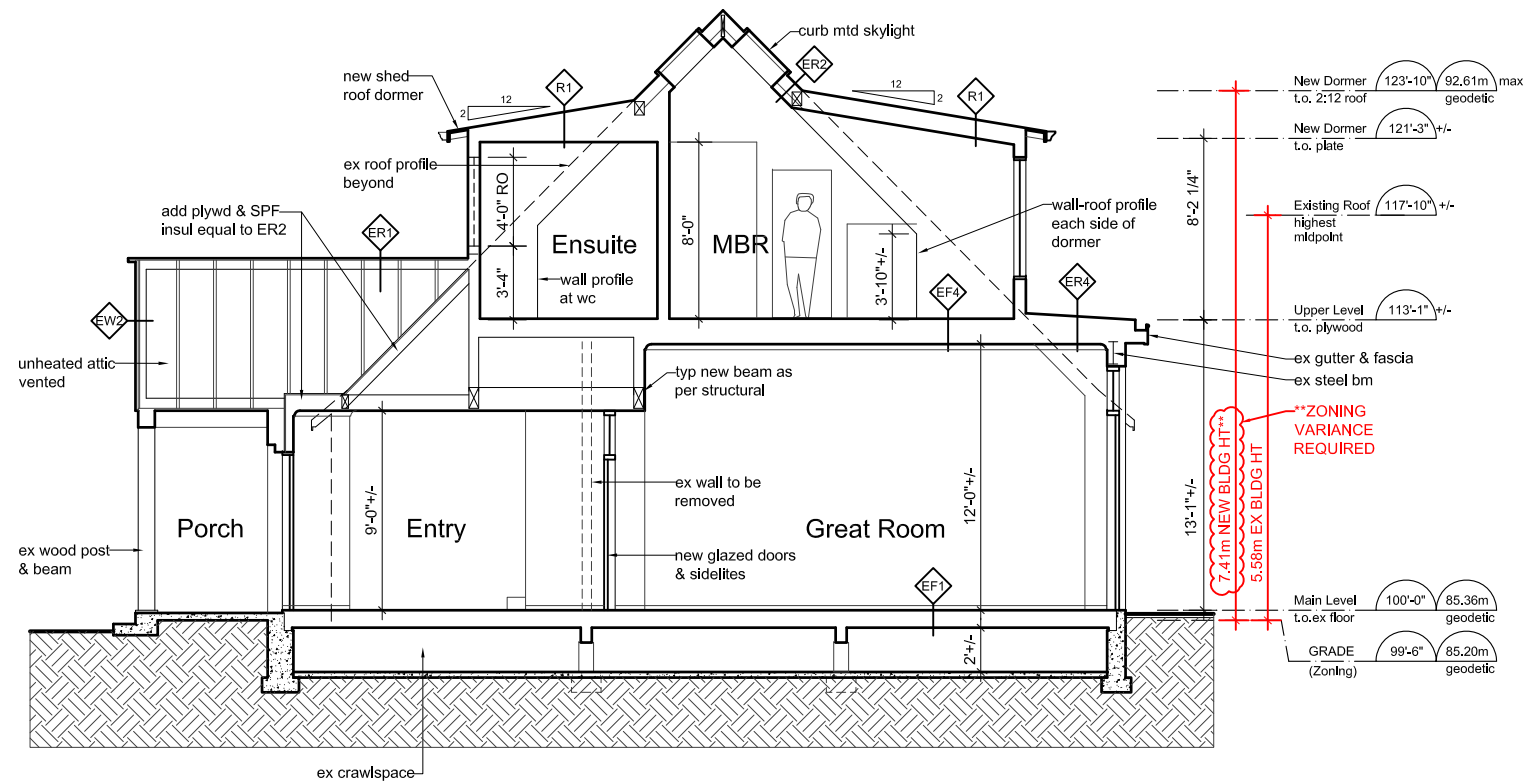
Drawing No	Revision No
A3	



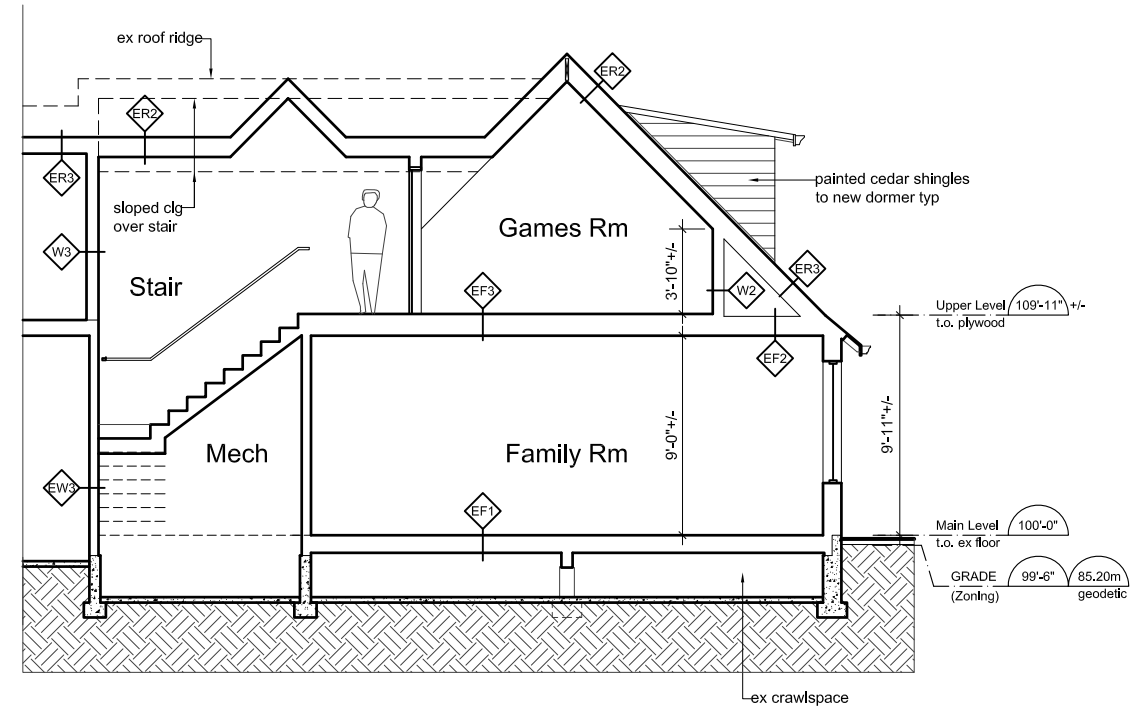
**ROOF PLAN**  
1/8"=1'-0"



**SECTION A**  
1/4"=1'-0"

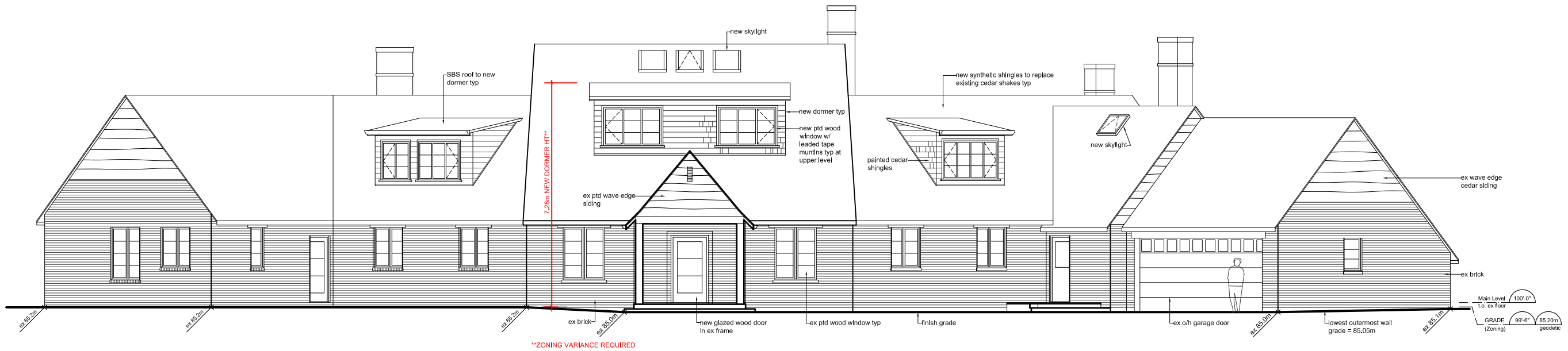


**SECTION B**  
1/4"=1'-0"

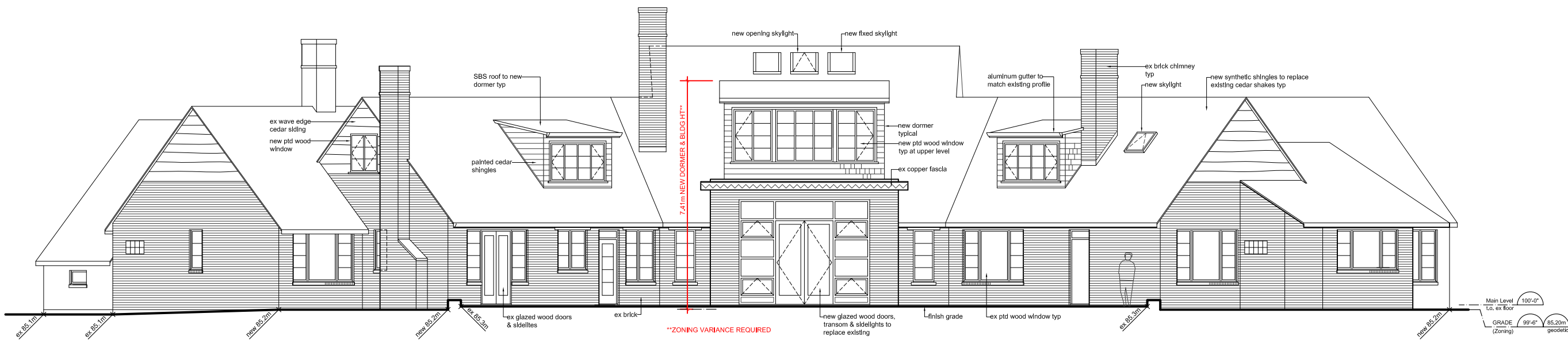


**SECTION C**  
1/4"=1'-0"

29APR2024		BOV APPLICATION	
date		description	
Issue Log			
<b>James Kerr Architect</b>			
JAMES KERR, ARCHITECT AIBC 1423 Haultain Street Victoria, BC V8R 2J6 778-432-2996			
drawn by	date	29APR2024	
Project No.	2203	scale	AS NOTED
Project Name			
<b>OWEN RESIDENCE ADDITION &amp; ALTERATIONS</b> 691 Donnington Place Victoria BC			
Drawing Title			
<b>ROOF PLAN SECTIONS</b>			
Drawing No.	A4		Revision No.



EAST ELEVATION



WEST ELEVATION

Issue Log	
date	description
29APR2024	BOW APPLICATION

**James Kerr Architect**

JAMES KERR, ARCHITECT AIBC  
 1423 Haultain Street  
 Victoria, BC V8R 2J6  
 778-432-2996

drawn by	date
2203	29APR2024
Project No.	scale
2203	3/16"=1'-0"

Project Name

**OWEN RESIDENCE ADDITION & ALTERATIONS**  
 691 Donnington Place  
 Victoria BC

Drawing Title
ELEVATIONS

Drawing No	Revision No
A5	